

FIRE PROTECTION NOTES

THESE PLANS ARE IN COMPLIANCE WITH CA. 2016 BUILDING AND FIRE CODES AND DISTRICT AMENDMENT.

FIRE FLOW REQUIREMENT IS 1,000 G.P.M. THE REQUIRED & AVAILABLE FIRE FLOW IS 1,790 G.P.M.

OCCUPANCY CLASSIFICATION: R3/U1. BUILDING CONSTRUCTION TYPE: SPRINKLERED SHALL AS DETERMINED BY THE BUILDING OFFICIAL AND OUTLINED IN PART 14 OF THE CBC.

FIRE SPRINKLER INSTALLER SHALL SUBMIT 3 SETS OF PLANS AND CALC'S. FOR THE UNDERGROUND AND OVERHEAD RES. AUTOMATIC SPRINKLER SYSTEM FOR APPROVAL BY THE APTOS/LA SELVA BEACH FIRE PROTECTION DISTRICT. INSTALLATION SHALL FOLLOW THEIR GUIDE SHEET.

UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT.

BUILDING ADDRESS NUMBERS SHALL BE POSTED ON THE FRONT OF THE GARAGE WITH 4" NUMBERS ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND STREET.

APPROVED SPARK ARRESTER SHALL BE INSTALLED ON TOP OF CHIMNEY, WIRE MESH NOT TO EXCEED 1/2".

ROOF COVERING SHALL BE A MINIMUM CLASS "B" RATED ROOF.

A 30' CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE (WHICHEVER IS A SHORTER DISTANCE). SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE ARE EXEMPT.

ALL REQUIREMENTS OF THE ENCLOSED SINGLE FAMILY DWELLING GUIDE ARE MET.

SMOKE DETECTORS ARE TO BE INSTALLED ACCORDING TO THE FOLLOWING LOCATIONS AND APPROVED BY THE APTOS-LA SELVA FIRE PROT. DIST. AS A MINIMUM REQUIREMENT. ONE DETECTOR ADJACENT TO EACH SLEEPING AREA (HALL, FOYER, BALCONY, ETC.).

ONE DETECTOR IN EACH SLEEPING ROOM. ONE AT THE TOP OF EACH STAIRWAY OF 24" RISE OR GREATER IN AN ACCESSIBLE LOCATION BY A LADDER. THERE MUST BE AT LEAST ONE DETECTOR ON EACH FLOOR REGARDLESS OF AREA USAGE. THERE MUST BE A MINIMUM OF ONE SMOKE DETECTOR IN EVERY BASEMENT AREA.

PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE

PROJECT DATA

OWNER:

PROJECT ADDRESS:
548 BEACH DR.
APTOS, CA 95003
A.P.N. 043-152-71

OCCUPANCY GROUP: R3/U1
IR RATING: N/A
ENERGY METHOD: MICROPAS 7.10
STRUCTURAL ENGINEER: MESITI-MILLER ENGINEERING
GEOTECHNICAL REPORT: CMAG ENGINEERING, INC.
CODE EDITIONS: 2016 CBC, CMC, CPC, CEC,
FIRE, 2016 CA RESIDENTIAL CODE GREEN BUILDING
STANDARDS AND ENERGY CODES

DEFERRED APPROVALS: FIRE SPRINKLERS, HVAC, BREAKAWAY STAIR DESIGN, ELEVATOR SPEC. AND DESIGN, IMPACT STRUCTURAL, WINDOW SPECIFICATION, ELECTRICAL.

NOTE: PRE-CONSTRUCTION SITE MEETING

PRIOR TO ANY DISTURBANCE ON THE PROPERTY, THE APPLICANT SHALL CONVEY A PRE-CONSTRUCTION MEETING ON SITE WITH THE APPLICANT, GRADING CONTRACTOR SUPERVISOR, PROJECT GEOLOGIST, PROJECT GEOTECHNICAL ENGINEER, AND THE SANTA CRUZ COUNTY GRADING INSPECTOR (CONDITION III.A). NO INSPECTIONS BY ENVIRONMENTAL PLANNING STAFF SHALL OCCUR UNTIL THIS MEETING IS CONVENED, AND FAILURE TO CONDUCT THIS MEETING PRIOR TO THE START OF CONSTRUCTION WILL BE IN VIOLATION OF THIS PERMIT AND WILL RESULT IN A STOP WORK ORDER FROM THE BUILDING DEPARTMENT.

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION AND THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD. DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE ARCHITECT OR ENGINEER ON RECORD SHALL SUBMIT THE DEFERRED SUBMITTAL DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE PROJECT GEOTECHNICAL ENGINEER SHALL OBSERVE INSTALLATION OF TEMPORARY SHORING AND PROVIDE A CONFORMANCE LETTER TO ENVIRONMENTAL PLANNING.

PLEASE ALSO NOTE THAT THE PROJECT ENGINEER OR ARCHITECT MUST CERTIFY THAT ALL NON-STRUCTURAL WALLS ARE BREAKAWAY WALLS AT THE COMPLETION OF THE PROJECT.

PLEASE NOTE ON THE PLAN THAT AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OWNER AT THE COMPLETION OF THE PROJECT.
CCBC 4.410.1

NOTES:

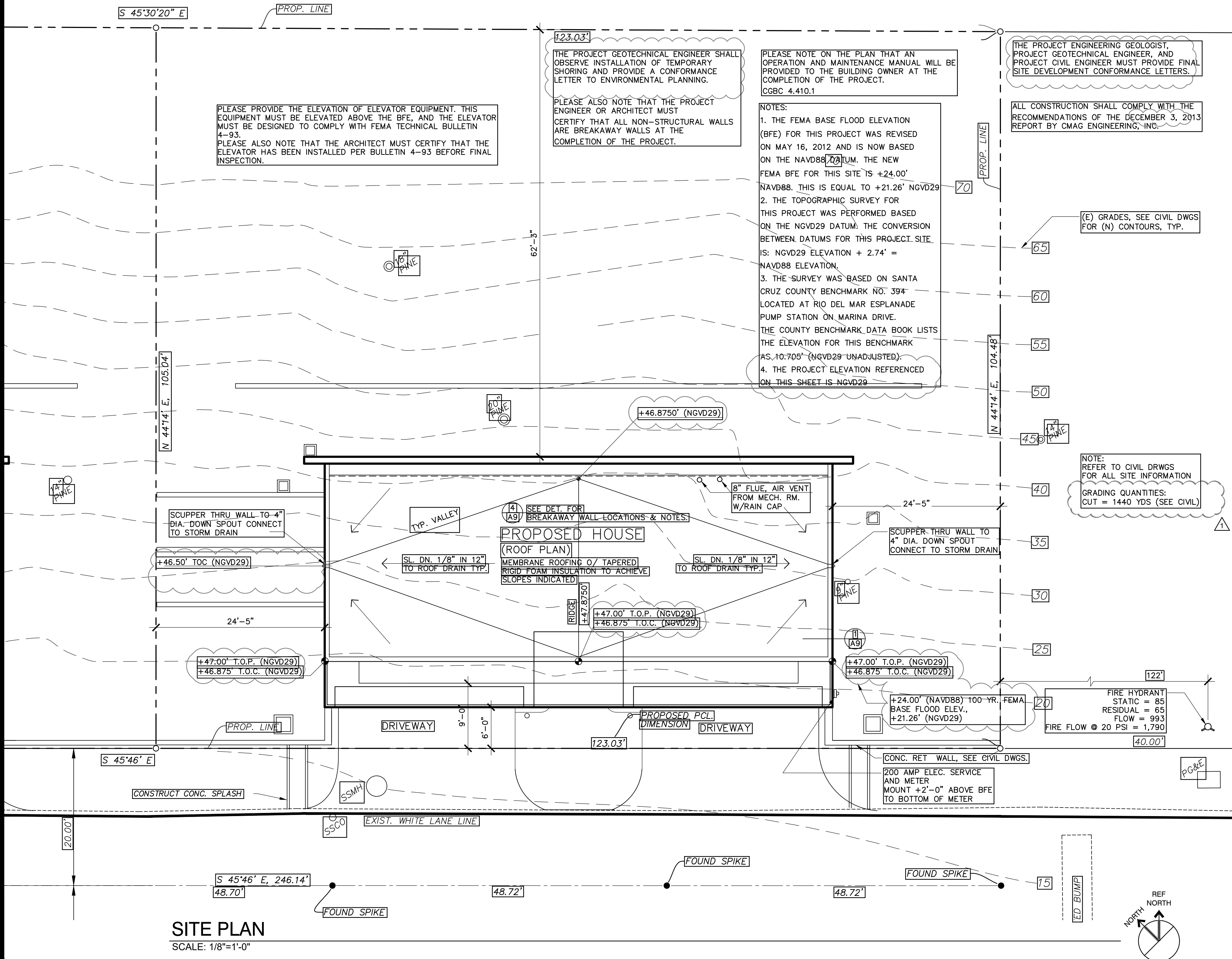
1. THE FEMA BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT WAS REVISED ON MAY 16, 2012 AND IS NOW BASED ON THE NAVD88 DATUM. THE NEW FEMA BFE FOR THIS SITE IS +24.00' NAVD88. THIS IS EQUAL TO +21.26' NGVD29
2. THE TOPOGRAPHIC SURVEY FOR THIS PROJECT WAS PERFORMED BASED ON THE NGVD29 DATUM. THE CONVERSION BETWEEN DATUMS FOR THIS PROJECT SITE IS: NGVD29 ELEVATION + 2.74' = NAVD88 ELEVATION.
3. THE SURVEY WAS BASED ON SANTA CRUZ COUNTY BENCHMARK NO. 394 LOCATED AT RIO DEL MAR ESPLANADE PUMP STATION ON MARINA DRIVE. THE COUNTY BENCHMARK DATA BOOK LISTS THE ELEVATION FOR THIS BENCHMARK AS 10.705' (NGVD29 UNADJUSTED).
4. THE PROJECT ELEVATION REFERENCED ON THIS SHEET IS NGVD29

THE PROJECT ENGINEERING GEOLOGIST, PROJECT GEOTECHNICAL ENGINEER, AND PROJECT CIVIL ENGINEER MUST PROVIDE FINAL SITE DEVELOPMENT CONFORMANCE LETTERS.

ALL CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF THE DECEMBER 3, 2013 REPORT BY CMAG ENGINEERING, INC.

(E) GRADES, SEE CIVIL DWGS FOR (N) CONTOURS, TYP.

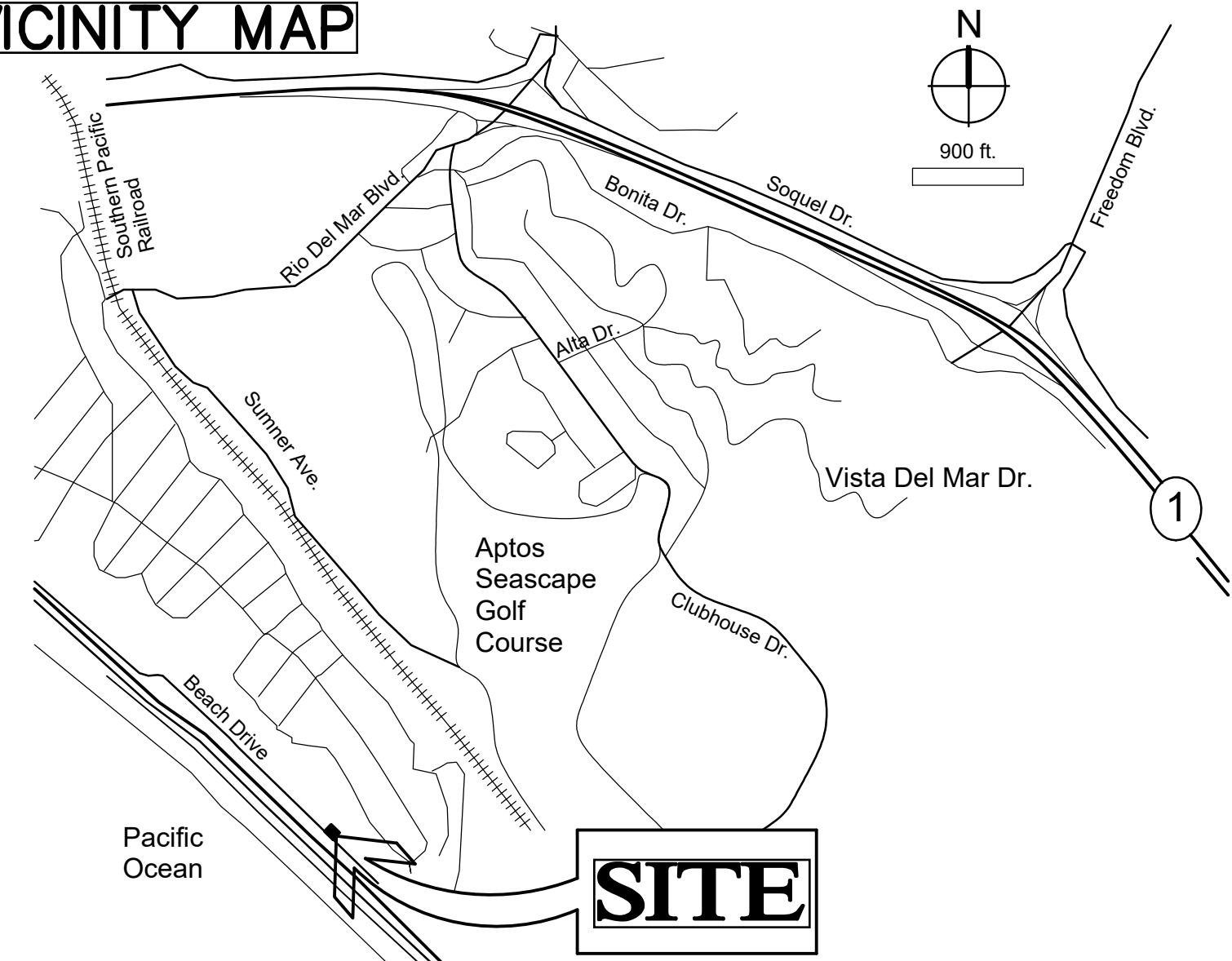
NOTE: REFER TO CIVIL DWGS FOR ALL SITE INFORMATION
GRADING QUANTITIES: CUT = 1440 YDS (SEE CIVIL)



SITE PLAN

SCALE: 1/8"=1'-0"

VICINITY MAP



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- GB1 CALIFORNIA GREEN BUILDING CODE
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- CIVIL DRAWINGS
- C1.0 CIVIL COVER SHEET
- C2.0 SITE PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C3.1 SITE SECTION & D.W. PROFILE
- C4.0 UTILITY PLAN
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- L1 LANDSCAPING PLAN

REVISIONS	BY
1. COASTAL REVIEW 10/23/17	DW
2. OWNER June 1 / 18	DW
3. SCC PC January 16 / 19	DW
4. OWNER Jun 10 / 19	DW

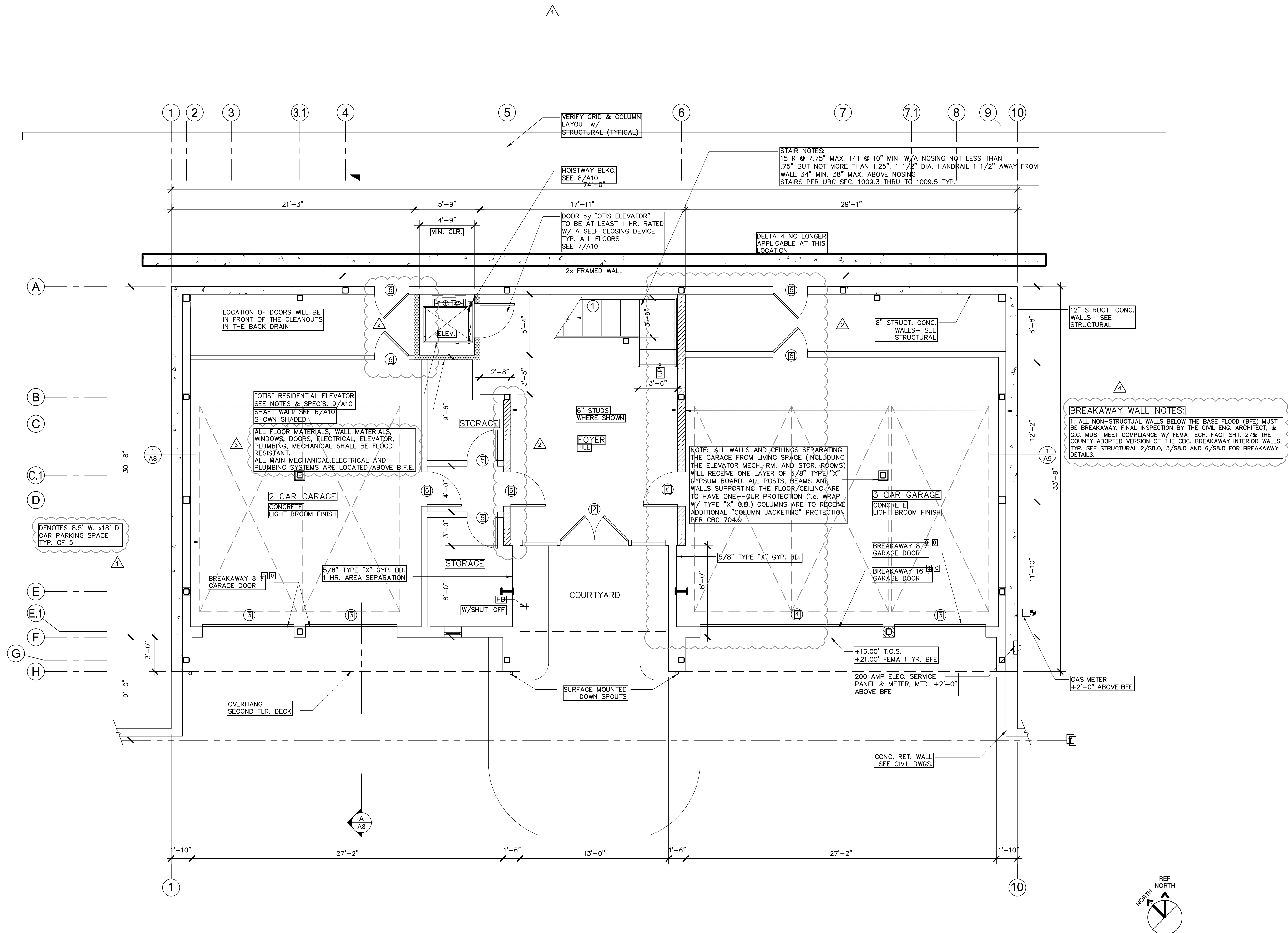
WARREN DESIGN

579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760 C. 209.534.7371

NEW CONSTRUCTION FOR
548 BEACH DR.
APTOS, CA 95003

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GARAGE LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

1,826.66 SQ. FT.

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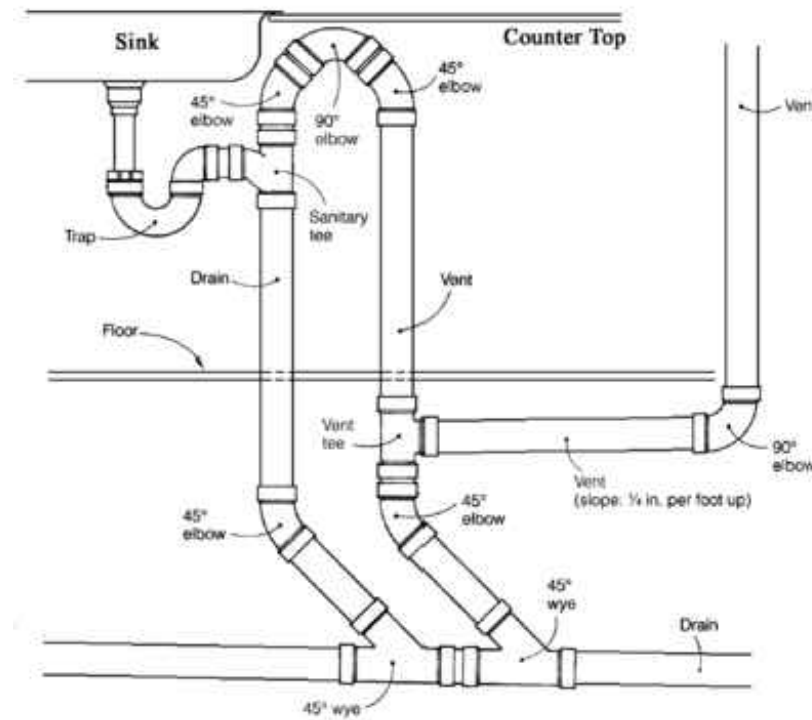
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ASHRAE Standard 62.2 Equation 4.1(a)
The whole-building exhaust fan shall provide a minimum ventilation rate according to Equation 4.1(a) below:
$$Q_{ex} = 0.01 A_{\text{ex}} + 7.5 (N + 1)$$

Where:
 Q_{ex} = fan flow rate
 A_{ex} = conditioned floor area, ft²
 N = number of bedrooms; not to be less than one
WHOLE-BUILDING VENTILATION RATE SUMMARY
CONTINUOUS FAN FLOW (cfm) = 100
USE THE FAN FLOW RATE FROM THIS SUMMARY FOR SELECTION OF THE WHOLE-BUILDING VENTILATION FAN AND FOR THE DUCT DESIGN FOR THE WHOLE-BUILDING VENTILATION SYSTEM FROM TABLE 7.1
DUCT SIZE = 5"
MAXIMUM ALLOWABLE DUCT LENGTH (ft.) = 35'

EVERY BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTED FOR PURPOSES OF HUMIDITY CONTROL. FANS SHALL BE MIN. OF 50 CFM, ENERGY STAR RATED AND NOT PART OF THE WHOLE HOUSE VENTILATION SYSTEM AND SHALL HAVE A HUMIDISTAT CONTROL.

WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/FLUSH WALL MOUNTED URINALS .125 GALLONS/FLUSH SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCET SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.



ISLAND VENT DETAIL

BEDROOM LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

1,902.25 SQ. FT.

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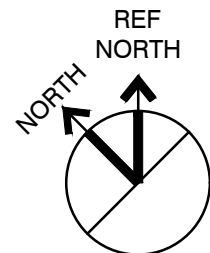
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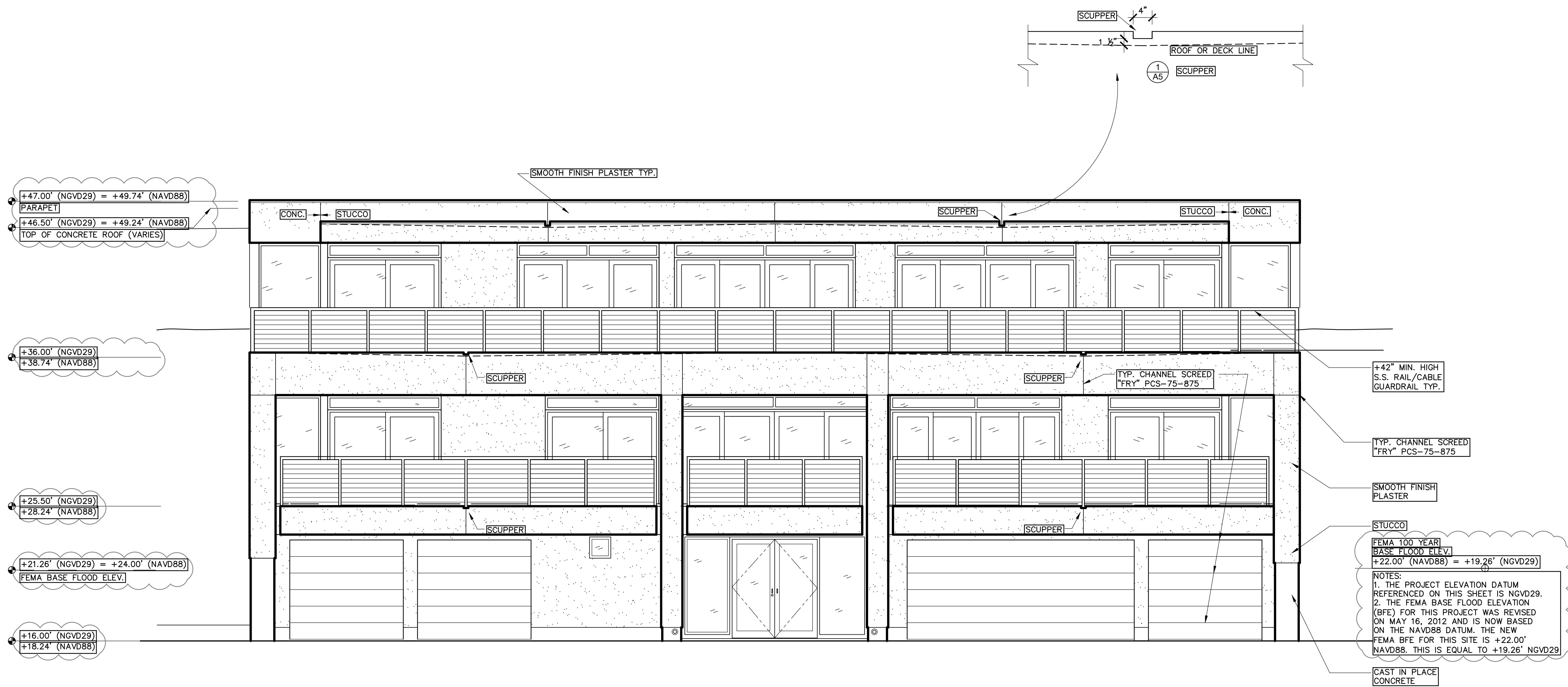
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1,902.25 SQ. FT.



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

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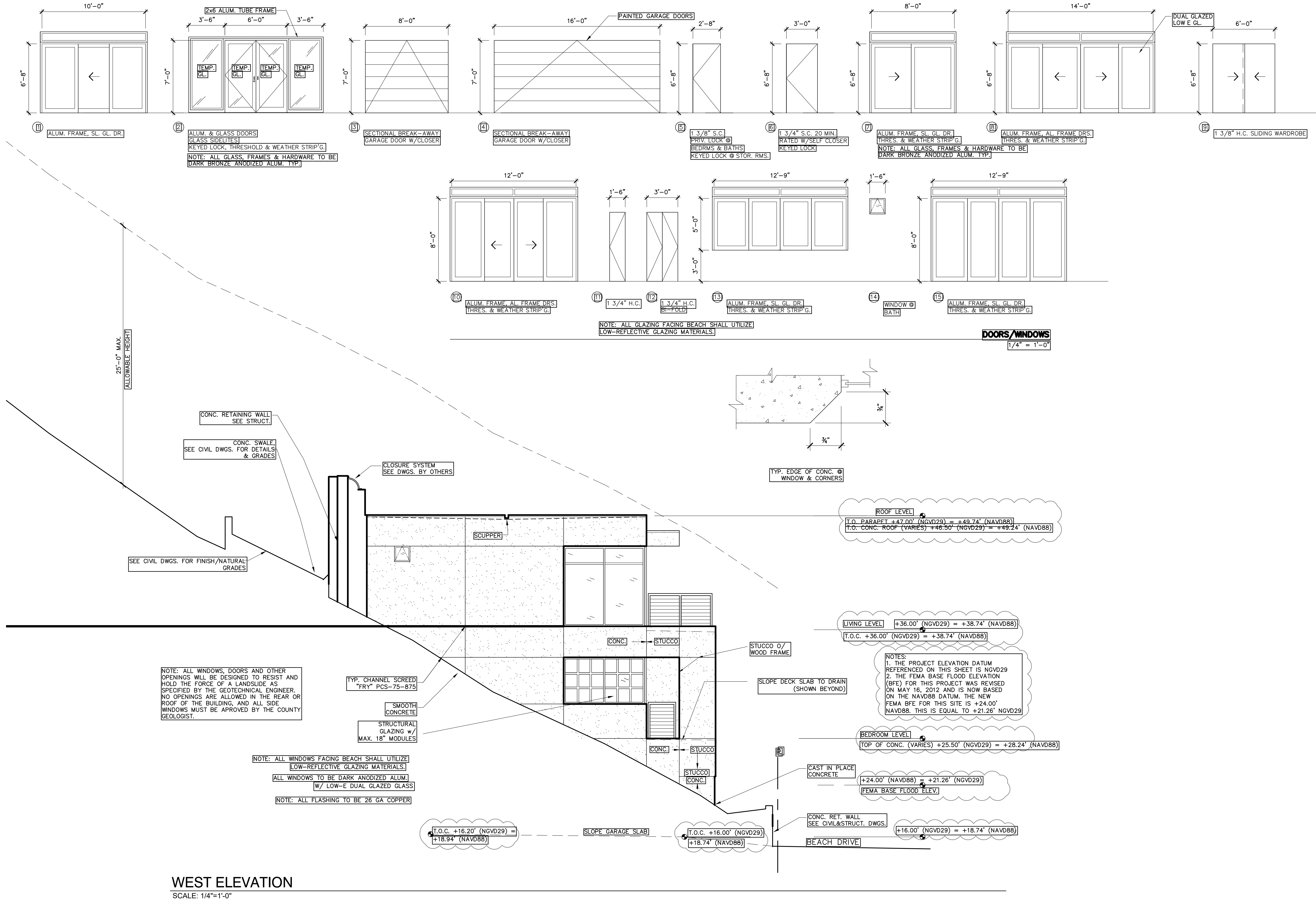
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X OF SHEETS



WEST ELEVATION
SCALE: 1/4"=1'-0"

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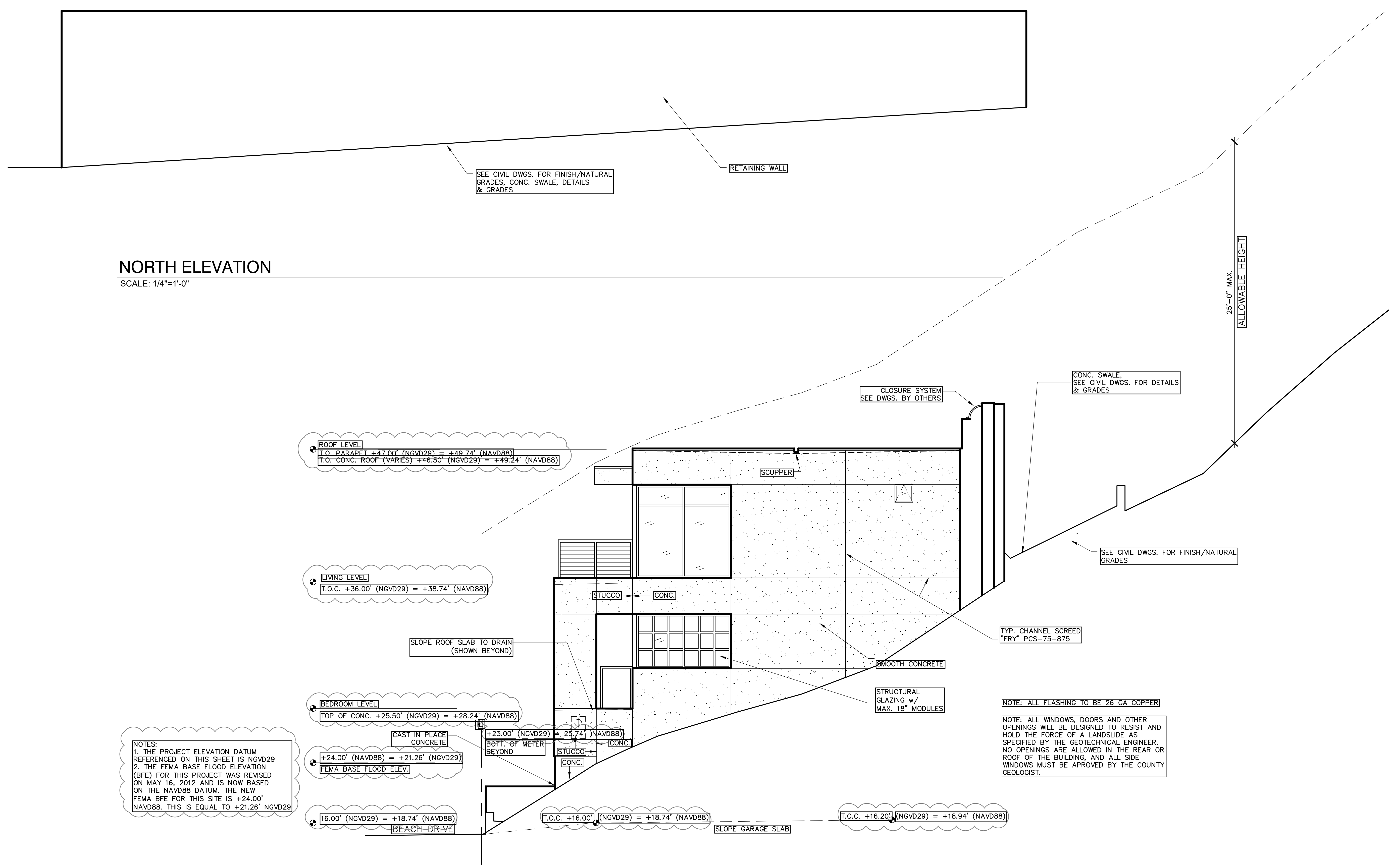
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A6

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NORTH ELEVATION
SCALE: 1/4"=1'-0"

EAST ELEVATION
SCALE: 1/4"=1'-0"

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NEW CONSTRUCTION FOR

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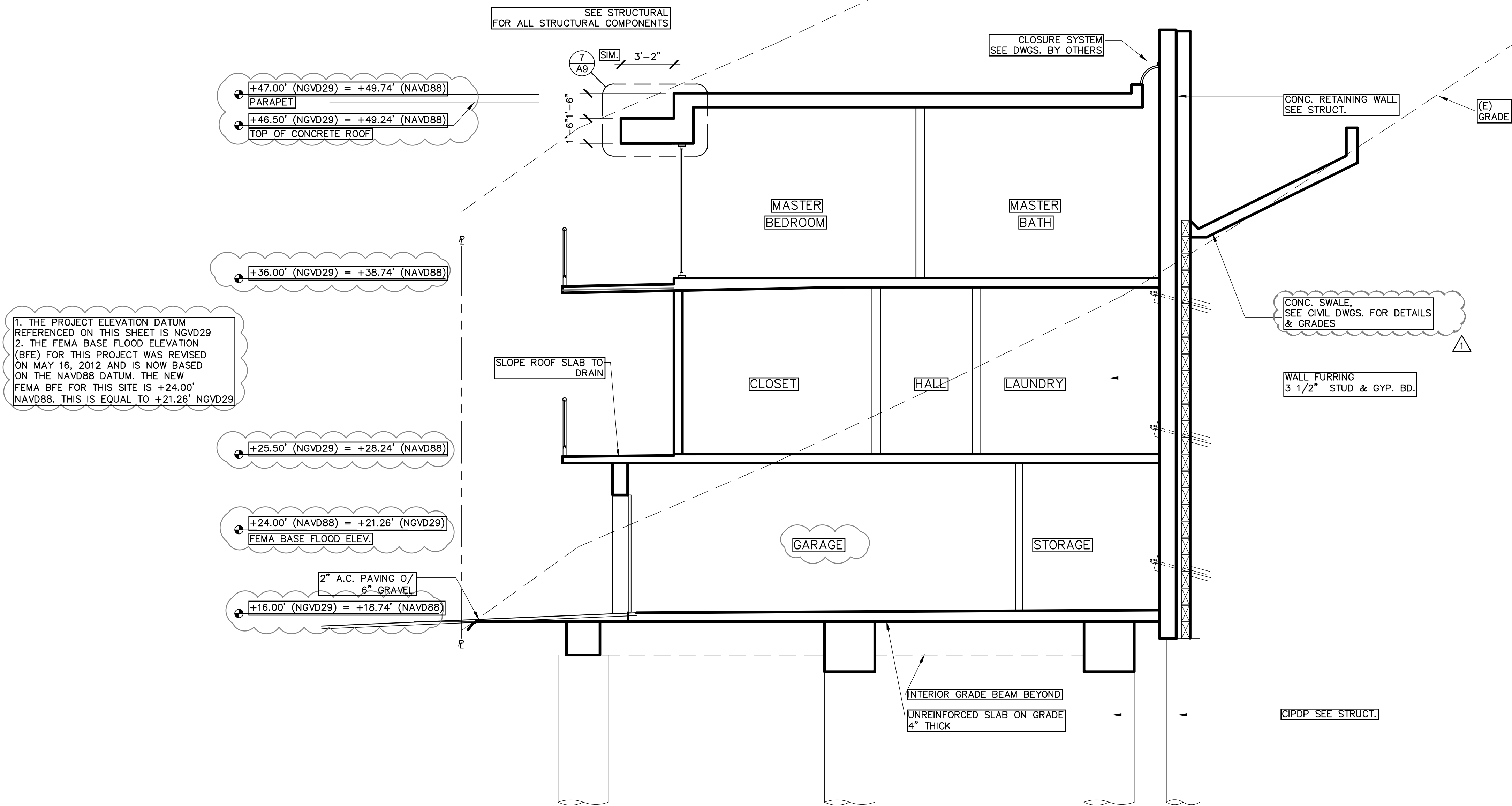
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X OF SHEETS



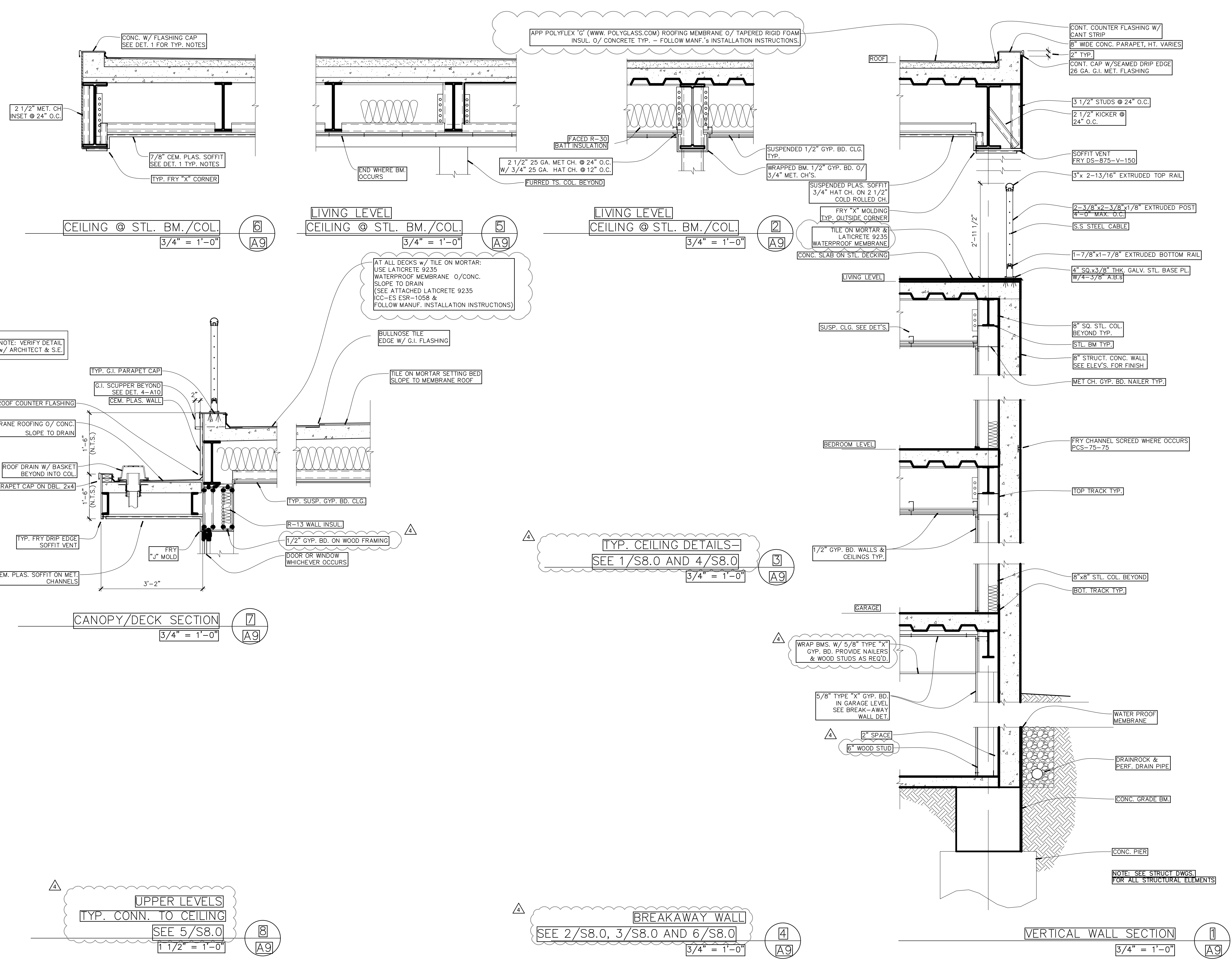
SECTION A
SCALE: 1/4"=1'-0"

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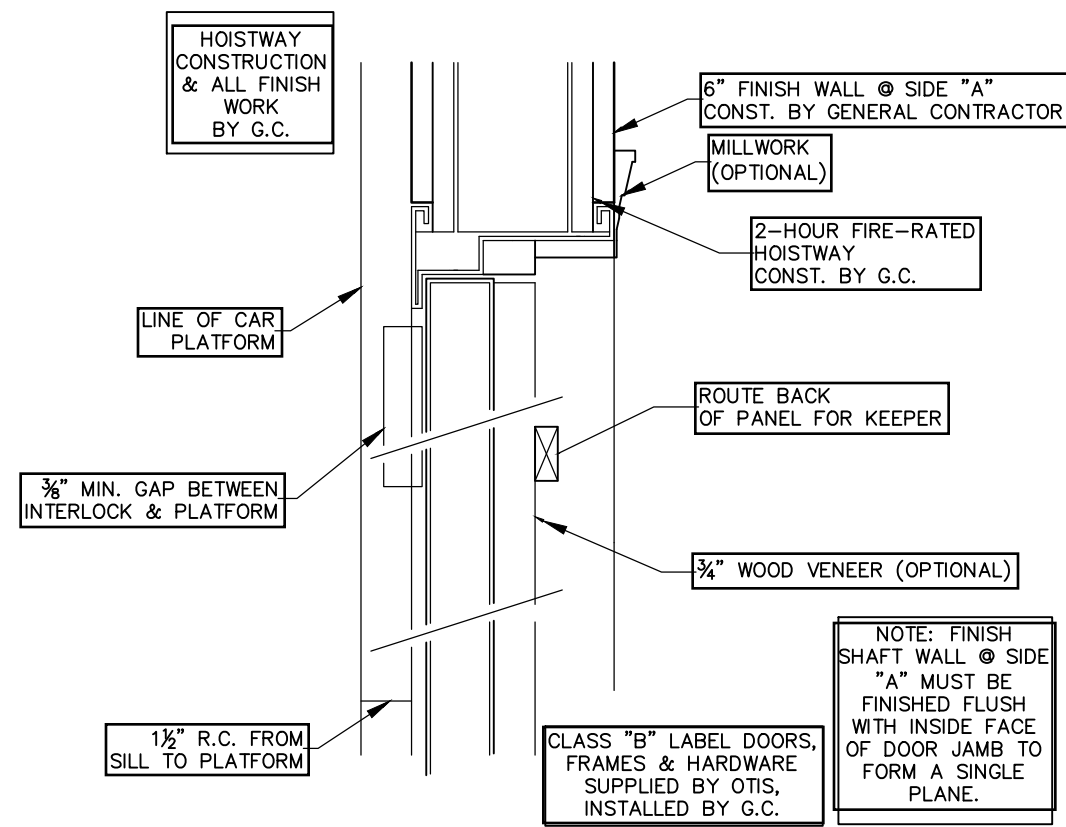
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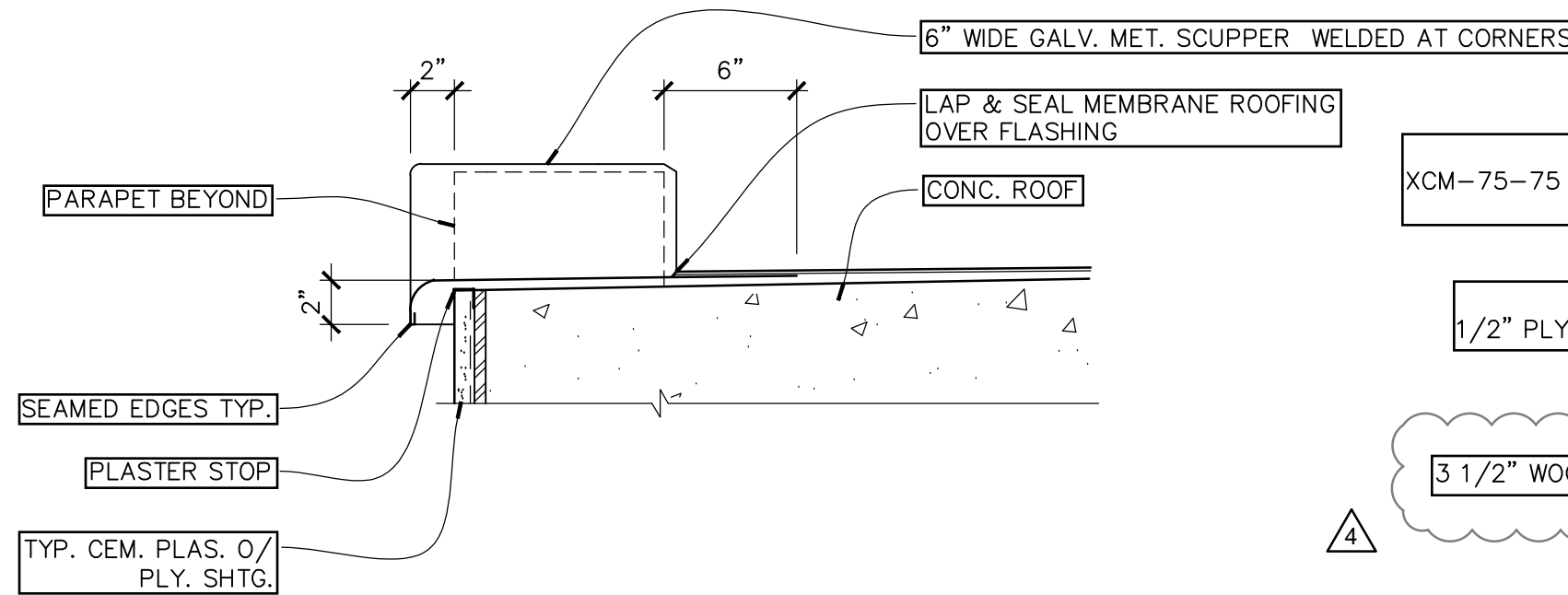
NEW CONSTRUCTION FOR
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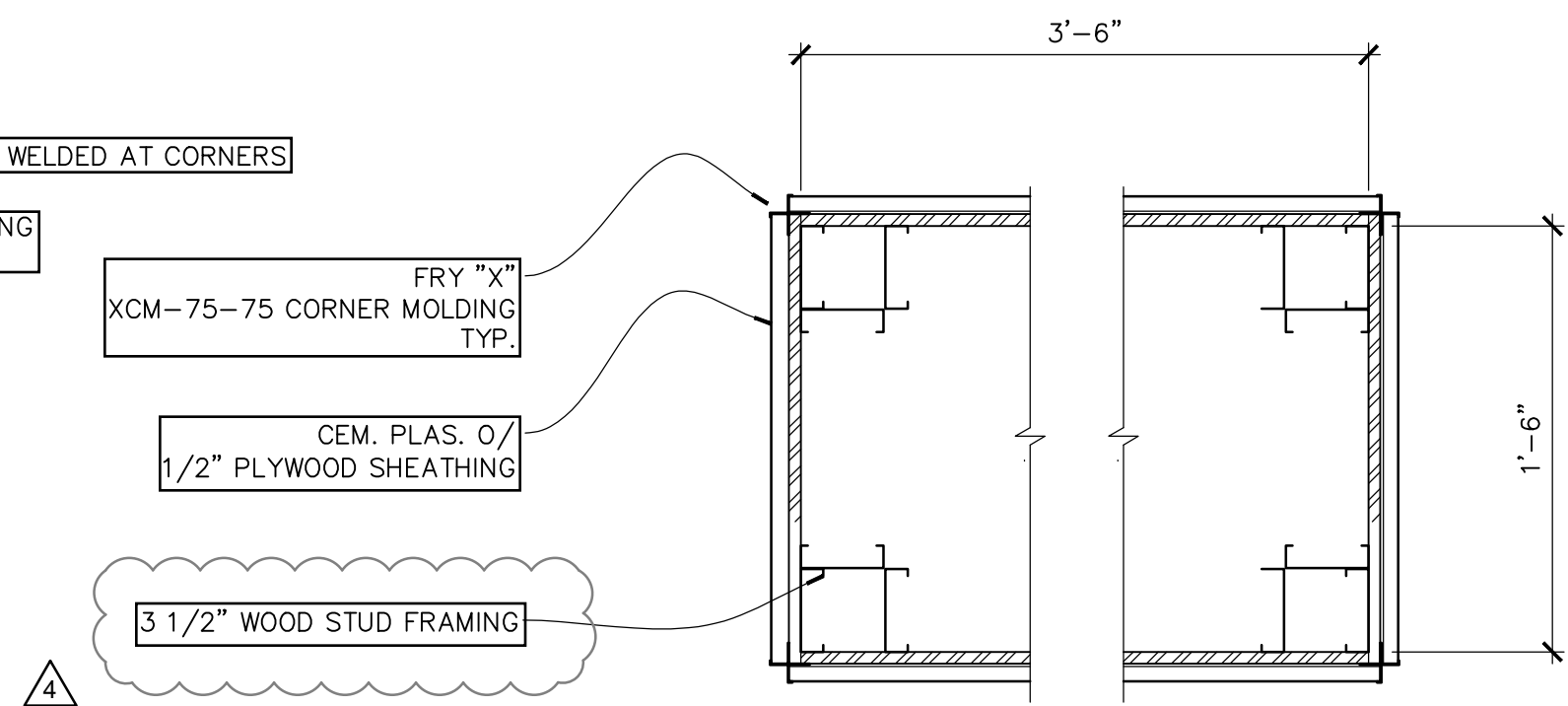
ELEVATOR DOOR HEAD
NO SCALE

7
A10



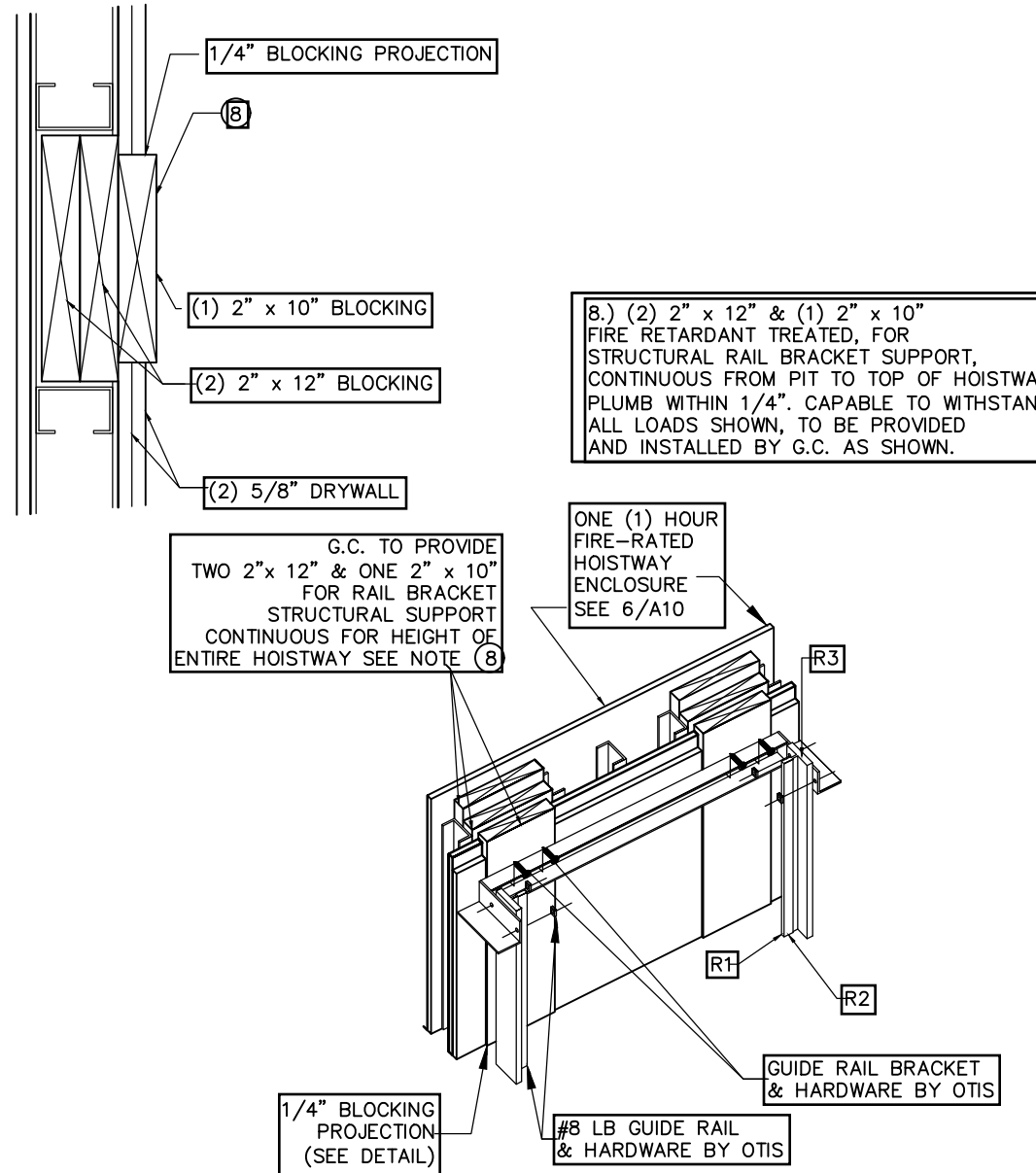
PARAPET ROOF SCUPPER
1 1/2" = 1'-0"

4
A10



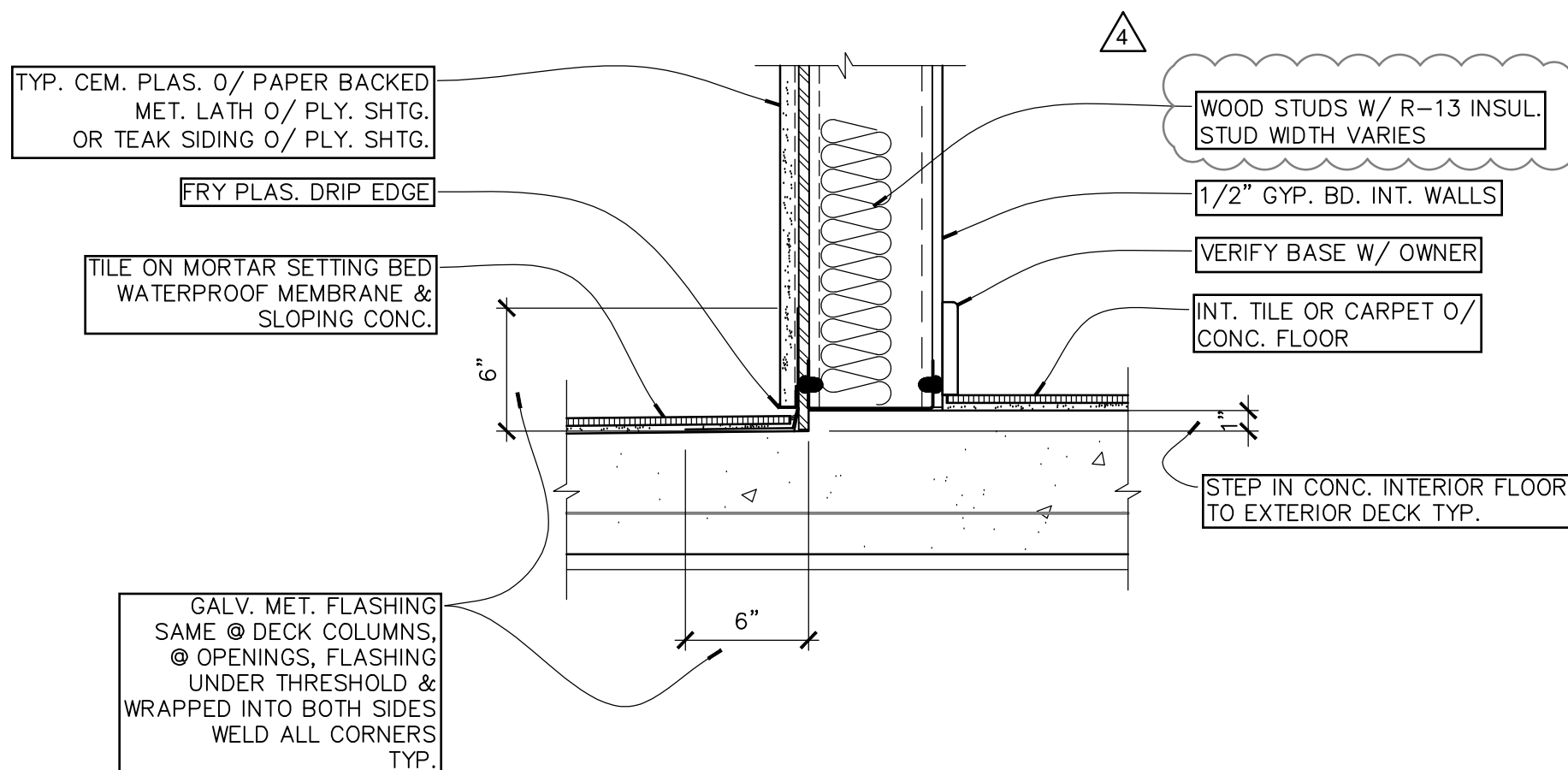
COLUMN PLAN SECTION
1 1/2" = 1'-0"

1
A10



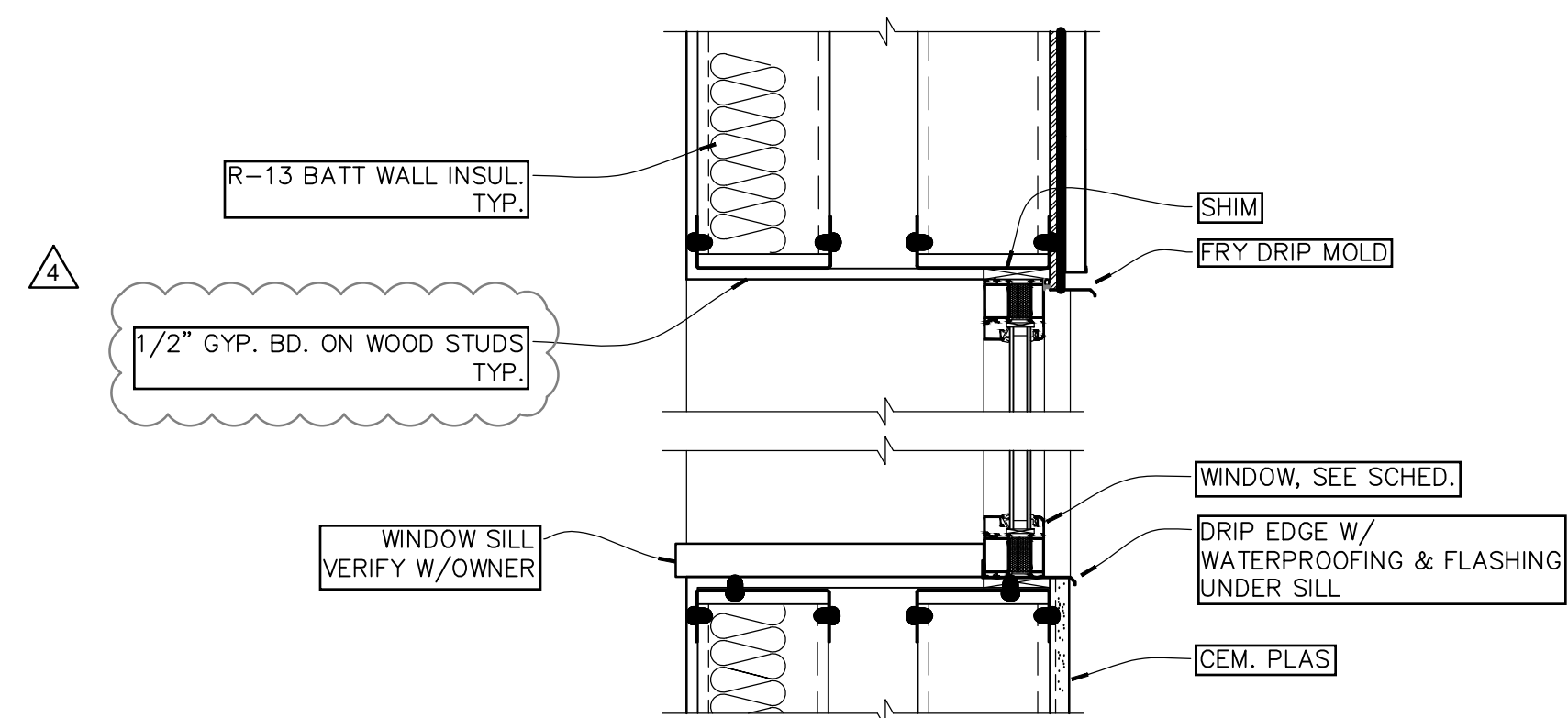
ELEVATOR HOISTWAY BLOCKING
NO SCALE

8
A10



FLOOR / WALL SECTION
1 1/2" = 1'-0"

5
A10



WINDOW VERTICAL SECTION
1 1/2" = 1'-0"

2
A10

GENERAL NOTES	
1.) G.F.I. PIT RECEPTAL BY ELECTRICAL CONTRACTOR. PIT LADDER BY OTHERS IF PIT IS GREATER THAN 3'-0". FIELD VERIFY SIZE.	15.) OTIS TO PROVIDE CAR OPERATING STATION WITH EMERGENCY LIGHT AND BELL.
2.) FUSED DISCONNECT (SPOLE) SWITCH BY ELECTRICAL CONTRACTOR WITH 220 VOLTS, 1 PHASE, 60 HERTZ POWER.	16.) OTIS TO PROVIDE LOW OIL CONTROL AND CAR TOP OPERATING STATION.
3.) MACHINE ROOM LIGHTS AND SWITCH BY ELECTRICAL CONTRACTOR.	18.) OTIS TO PROVIDE A TELEPHONE (PRINCESS TYPE) IN THE CAR WITH TRAVELING CABLE FROM THE CAR TO THE BOX IN THE MACHINE ROOM.
4.) 110 VOLTS G.F.I. OUTLET BY ELECTRICAL CONTRACTOR IN MACHINE ROOM.	24.) ALL PRE-WELDED DOOR FRAMES (Y) PROVIDED BY OTIS, INSTALLED BY OTHERS, ARE TO BE SET TRUE, PLUMB AND IN LINE ONE ABOVE THE OTHER. NO HOISTWAY CONSTRUCTION IS TO PROTRUDE BEYOND THE FRAMES OR SILLS, INTO THE HOISTWAY.
5.) 6" x 6" HOLE BY GENERAL CONTRACTOR FOR ELECTRICAL LINE 6'-6" ABOVE MACHINE ROOM FLOOR. (TYPICAL).	26.) PROVIDE (Y) 2" x 3/8" HANDRAIL AT SIDE OF CAR. (SEE SEPARATE DETAIL).
6.) 8" x 8" HOLE BY GENERAL CONTRACTOR FOR OIL LINE 3'-1" ABOVE MACHINE ROOM FLOOR. (TYPICAL).	31.) PROVIDE CERTIFICATE FRAME INSIDE THE CAR. (Y)
7.) PUSH BUTTON STATION 3'-6" FROM FINISH FLOOR TO C/L OF HALL PUSH BUTTONS.	32.) CAR LIGHTING TO BE: (Y) DOWN LIGHTS
8.) (2) 2" x 12" & (1) 2" x 10" FIRE RETARDANT TREATED, FOR STRUCTURAL RAIL BRACKET SUPPORT, CONTINUOUS FROM PIT TO TOP OF HOISTWAY, PLUMB WITHIN 1/4". CAPABLE TO WITHSTAND ALL LOADS SHOWN, TO BE PROVIDED AND INSTALLED BY OTHERS, AS SHOWN.	35.) THRESHOLD TO BE: (Y) EXTRUDED ALUMINUM (Y) BRONZE
10.) IMPACT LOAD ON THE PIT CHANNELS DUE TO WEIGHT OF CAR, CAPACITY, PISTON & CYLINDER = *** LBS. WEIGHTS OF CAR, CAPACITY & PISTON HAVE BEEN DOUBLED.	37.) CAR LIGHT DISCONNECT MEANS SHALL BE ARRANGED TO BE LOOED IN THE OPEN POSITION & SHALL BE LOCATED IN THE MACHINE ROOM FOR THAT CAR.

MOBILIZATION REQ'S

MACHINE ROOM WORK BY OTHERS:
BEFORE INSTALLATION OF THE ELEVATOR ALL DRYWALL, INCLUDING TAPING AND PAINTING, THAT IS REQUIRED MUST BE FINISHED COMPLETELY. ALL HOISTWAY DOORS, FRAMES, SILLS, AND RAIL SUPPORTS MUST BE INSTALLED IN PLACE. DOOR PANELS MUST NOT BE REMOVED FOR ANY REASON DURING OR AFTER INSTALLATION. FIRE-RESISTANT PAINT ON WOOD GUIDE RAIL SUPPORTS MUST ALSO BE COMPLETED PRIOR TO INSTALLATION.

NOTE: OTIS SUGGESTS THAT THE HOISTWAY SIDE OF THE DOORS/WALLS BE PAINTED AS A FINISH WALL, AS THEY WILL BE SEEN THROUGH THE CAB GATE. ALL FINISH WORK BY OTHERS.

HOISTWAY WORK BY OTHERS:
BEFORE INSTALLATION OF THE ELEVATOR ALL DRYWALL, INCLUDING TAPING AND PAINTING, THAT IS REQUIRED MUST BE FINISHED COMPLETELY. ALL HOISTWAY DOORS, FRAMES, SILLS, AND RAIL SUPPORTS MUST BE INSTALLED IN PLACE. DOOR PANELS MUST NOT BE REMOVED FOR ANY REASON DURING OR AFTER INSTALLATION. FIRE-RESISTANT PAINT ON WOOD GUIDE RAIL SUPPORTS MUST ALSO BE COMPLETED PRIOR TO INSTALLATION.

ROPED HYDRAULIC RESIDENTIAL ELEVATOR	
CONTRACT DATA	WEIGHTS
CAPACITY ON CAR: 1750 LBS.	CAR: 1750 LBS.
SPEED OF CAR: 150 FEET PER MINUTE	CAPACITY: 1750 LBS.
1 OF STOPS: 12	1 OF STOPS: 12
POWER: 220 VOLT, 1 PHASE, 60 HERTZ	MODEL: 3.5hp UNDER OIL PUMP
CAB DATA	
CAB MATERIAL: WOOD CORE	
FINISH: P/LAM	
FLOORING: WOOD VENEER	
CAB GATE DATA	
TYPE: COLLAPSIBLE ACCORDION GATE	
OPERATION: POWER	
HOISTWAY DOORS	
TYPE: 1" B LABEL FIRE RATING - MINIMUM	
SIZE: (C-STYLE) 3'-0" x 8'-8" x 1 3/4"	
FLOOR: WOOD	
OPERATION: POWER	
CONTROL EQUIP	
CONTROLLER: SINGLE SPEED AS SUPPLIED	
LEVELING SW: W/ HOISTWAY ACCESS CONTROL	
# OF ROPES: 2	
GUIDE RAILS: (2) @ 3/8" DIA. 8x19TS	
GUIDE SHOES: T-161 #8 LB PER FT	
JACK DATA	
PLUNGERS: DIA. 2	
CYLINDER: DIA. 2	
COUPLING: DIA. THREADED	
BRUFFERS: DIA. RUBBER	
DISCONNECT	
24 VOLT CONTROL CIRCUIT BY OTIS	

SPECIFICATIONS

DWG. # RESID-004
DATE: 8.30.00
DWG. CREATED BY: DKB-BOSTON

UNITED TECHNOLOGIES
OTIS ELEVATOR

GENERAL NOTES

DWG. # RESID-005
DATE: 8.30.00
DWG. CREATED BY: DKB-BOSTON

UNITED TECHNOLOGIES
OTIS ELEVATOR

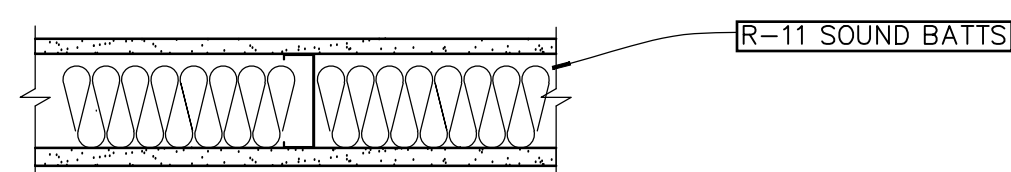
NOTE: THE ELEVATOR MUST BE DESIGNED TO COMPLY W/ FEMA TECHNICAL BULLETIN 4-93.
NOTE: PROVIDE A FLOAT SWITCH WHEN THE GROUND FLOOR OF THE ELEVATOR IS BELOW THE FLOOD ELEVATION.
THE ARCHITECT MUST CERTIFY THAT THE ELEVATOR HAS BEEN INSTALLED PER BULLETIN 4-93 BEFORE FINAL INSPECTION.

"OTIS ELEVATOR" NOTES & SPECIFICATIONS

NO SCALE

9
A10

NOTE: SHAFT ENCLOSURES SHALL EXTEND FROM THE LOWEST FLOOR OPENING THROUGH SUCCESSIVE FLOOR OPENINGS AND SHALL BE ENCLOSED AT THE TOP & BOTTOM.
SHAFT ENCLOSURES SHALL BE CONSTRUCTED TO CONTINUOUSLY MAINTAIN THE FIRE RESISTIVE INTEGRITY.



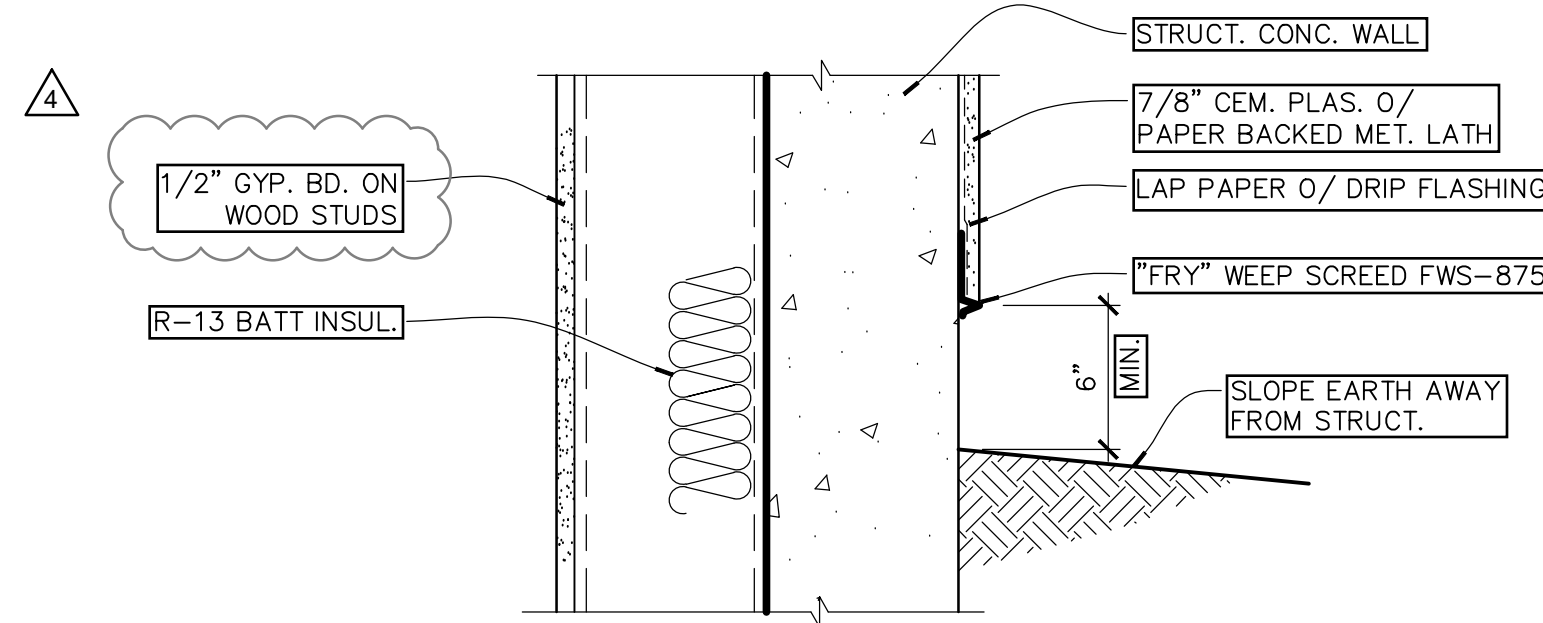
1 HOUR RATED SHAFT ENCLOSURE WALL
UL [U465] 5/8" Gold Bond Fire-Shield C Wallboard screw attached vertically with fasteners 8" o.c. at edges and 12" o.c. in the field of the board to min. 3-5/8" steel studs spaced maximum 24" o.c. with joints staggered on opposite sides of the wall. Insert "UL" as Ref. & "U 465" as Design No.

NOTE: GYPSUM INSTALLED BELOW BFE ON THE BREAKAWAY WALLS SHALL BE WATER RESISTANT, FIBER-REINFORCED GYPSUM EXTERIOR SHEATHING, FEMA TECHNICAL BULLETIN 2

ELEVATOR SHAFT WALL

1 1/2" = 1'-0"

6
A10



WEEP SCREEN

1 1/2" = 1'-0"

3
A10

REVISIONS	BY
1. COASTAL REVIEW 10/23/17	DW
4. OWNER Jun 10 / 19	DW

WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.468.3760 C. 209.534.7371

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NEW CONSTRUCTION FOR
548 BEACH DR.
APTOS, CA 95003

DRAWN [AK]	CHECKED [JCM]
DATE 7/20/17	SCALE [AS SHOWN]
JOB NO.	SHEET
A10	
X OF SHEETS	